

# SEARING REMODEL

DESROSIER  
ARCHITECTURE PLLC  
1710 E COLUMBIA ST #1  
SEATTLE, WA 98122  
425 638 3306

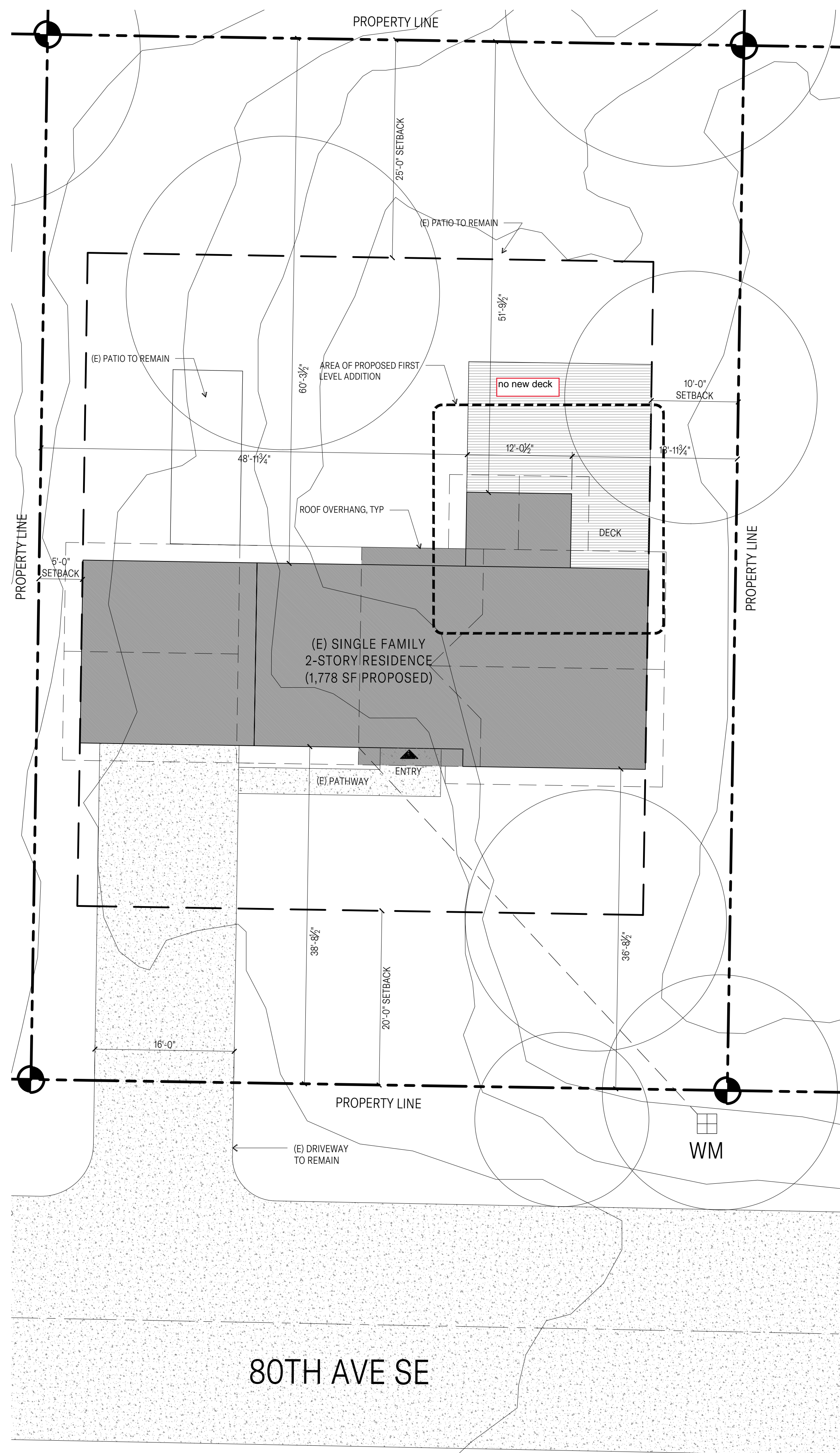
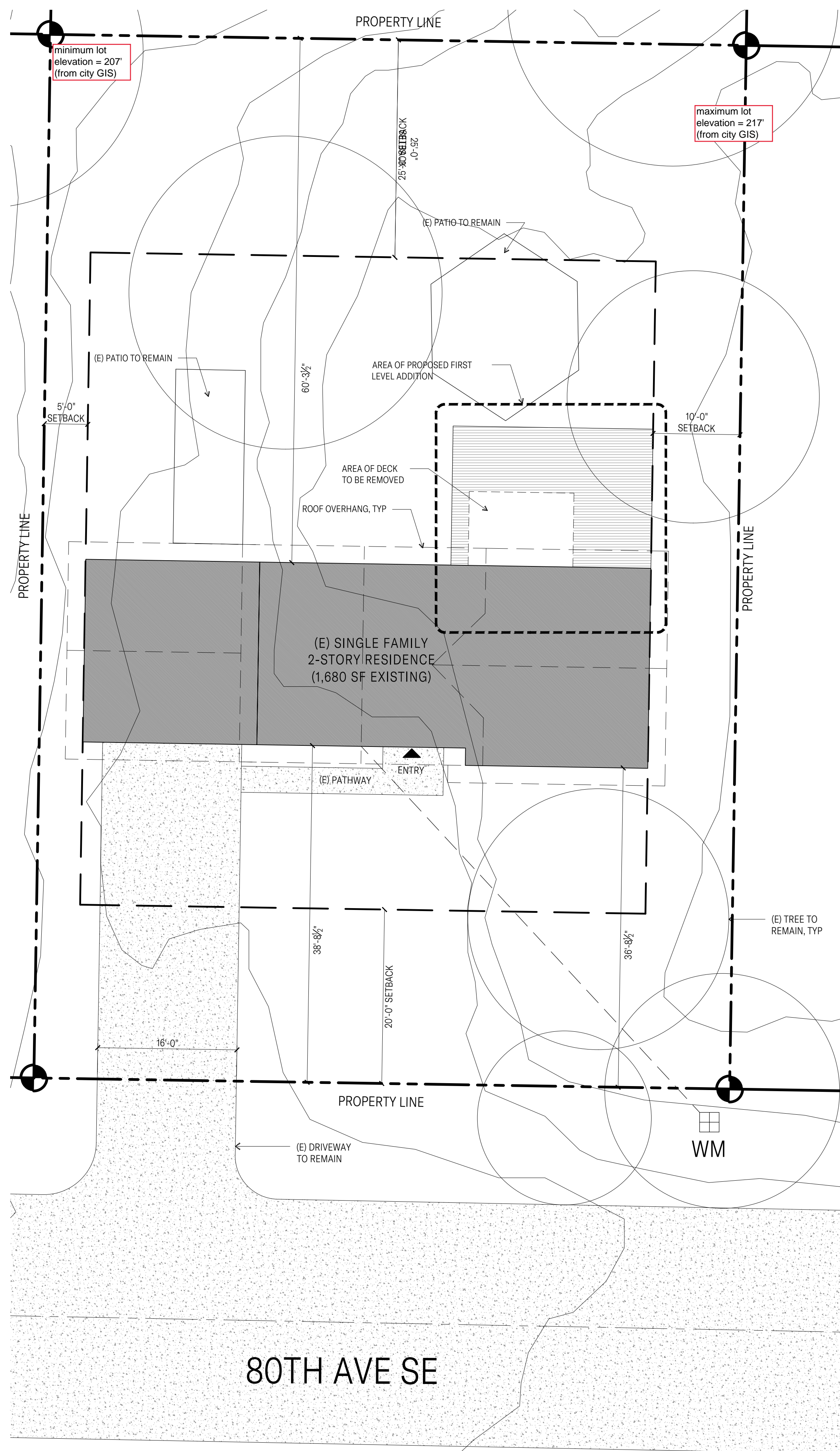
PROJECT DIRECTORY	PROJECT INFORMATION	CODE COMPLIANCE		DRAWING INDEX																																												
<p><b>Owner and Contractor:</b> Michael and Nicole Searing 3873 80th Ave SE Mercer Island, WA 98040</p> <p><b>Contact:</b> Michael Searing 408 886 4605 searing.michael@gmail.com</p> <hr/> <p><b>ARCHITECT</b> DESROSIER ARCHITECTURE PLLC 1710 E COLUMBIA ST APT 1 SEATTLE, WA 98122 425 638 3306 CONTACT: MEGANNE DESROSIER MEGANNEDESROSIER@GMAIL.COM</p>	<p><b>PROJECT DESCRIPTION</b> RENOVATION OF AN EXISTING RESIDENCE. THE PROPOSED PROJECT AREA IS LIMITED TO EXPANDING THE KITCHEN AND EXTERIOR DECK ON THE GROUND FLOOR AND MATCHING ROOF PITCH TO EXISTING.</p> <p><b>LAND USE DATA</b> ASSESSOR'S PARCEL # 54900-0245 LEGAL DESCRIPTION MERCERDALE # 2 Plat Block: 11 Plat Lot: 11 ZONING R-9.6 ZONING SETBACKS FRONT YARD SETBACK 20'-0" MIN. REAR YARD SETBACK 25'-0" SIDE YARD SETBACK 15'-0" TOTAL, 5'-0" MIN. LOT COVERAGE LOT SIZE 9,600 SF ALLOWABLE LOT COVERAGE 9,600SF X 0.40 = 3,840 SF <b>Existing lot coverage, main roof area: 68' x 34' = 2,312 SF</b> <b>Existing lot coverage, driveway: 17' x 36' = 612 SF</b> <b>Existing lot coverage, total 17' x 36' = 2,924 SF</b> <b>Proposed lot coverage, new main roof area: 16' x 8.5' = 136 SF</b> <b>Proposed lot coverage, total: 3,060 SF</b></p> <p>NOTE: NO PROPOSED CHANGE TO EXISTING BUILDING HEIGHT</p> <p><b>SQUARE FOOTAGE CALCULATIONS</b></p> <p>EXISTING</p> <table border="1"> <tr><td>BASEMENT (HEATED)</td><td>550 SF</td></tr> <tr><td>MAIN FLOOR</td><td>1080 SF</td></tr> <tr><td>UPPER FLOOR</td><td>600 SF</td></tr> <tr><td>GARAGE</td><td>400 SF</td></tr> <tr><td>TOTAL</td><td>2630 SF</td></tr> </table> <p>PROPOSED</p> <table border="1"> <tr><td>BASEMENT</td><td>NO CHANGE</td></tr> <tr><td>MAIN FLOOR</td><td>1182 SF</td></tr> <tr><td>UPPER FLOOR</td><td>NO CHANGE</td></tr> <tr><td>GARAGE</td><td>NO CHANGE</td></tr> <tr><td>TOTAL</td><td>2732 SF</td></tr> </table> <p><b>LOT HARDSCAPE CALCULATIONS</b></p> <p>EXISTING</p> <table border="1"> <tr><td>WOODEN DECK</td><td>299 SF</td></tr> <tr><td>PATIO</td><td>560 SF</td></tr> <tr><td>WALKWAY</td><td>118 SF</td></tr> <tr><td>ROCKERIES</td><td>38 SF</td></tr> <tr><td>FIREPIT</td><td>255 SF</td></tr> <tr><td>TOTAL</td><td>1270 SF</td></tr> </table> <p>PROPOSED</p> <table border="1"> <tr><td>WOODEN DECK</td><td>197 SF</td></tr> <tr><td>PATIO</td><td>NO CHANGE</td></tr> <tr><td>WALKWAY</td><td>NO CHANGE</td></tr> <tr><td>ROCKERIES</td><td>NO CHANGE</td></tr> <tr><td>FIREPIT</td><td>NO CHANGE</td></tr> <tr><td>TOTAL</td><td>1168 SF</td></tr> </table>	BASEMENT (HEATED)	550 SF	MAIN FLOOR	1080 SF	UPPER FLOOR	600 SF	GARAGE	400 SF	TOTAL	2630 SF	BASEMENT	NO CHANGE	MAIN FLOOR	1182 SF	UPPER FLOOR	NO CHANGE	GARAGE	NO CHANGE	TOTAL	2732 SF	WOODEN DECK	299 SF	PATIO	560 SF	WALKWAY	118 SF	ROCKERIES	38 SF	FIREPIT	255 SF	TOTAL	1270 SF	WOODEN DECK	197 SF	PATIO	NO CHANGE	WALKWAY	NO CHANGE	ROCKERIES	NO CHANGE	FIREPIT	NO CHANGE	TOTAL	1168 SF	<p><b>CODES</b> 2018 INTERNATIONAL RESIDENTIAL CODE 2018 WASHINGTON STATE ENERGY CODE</p> <p><b>ENERGY</b> PRESCRIPTIVE OPTION FOR SINGLE FAMILY RESIDENCE</p> <p>U-FACTORS VERTICAL GLAZING 0.24</p> <p>R-VALUES CEILING R-49 (OR R-38 ADV) VAULTED CEILING R-38 ADV FLOOR R-30 WALL ABOVE GRADE R-21 INT</p> <p>ABBREVIATIONS 'INT' DENOTES STANDARD FRAMING 16" O.C. WITH HEADERS INSULATED WITH A MINIMUM R-10 'ADV' DENOTES ADVANCED CEILING FRAMING</p> <div style="border: 1px solid red; padding: 5px; margin: 10px 0;">[removed]</div> <p><b>VENTILATION</b> WAC 51-11R WASHINGTON STATE VENTILATION AND INDOOR AIR QUALITY CODE HABITABLE ROOMS MUST HAVE OUTSIDE AIR SUPPLY MIN. VENTING REQ'D FOR 3001-4500 SF (4-5 BEDROOM): 90 CFM</p> <p><b>SMOKE DETECTOR</b> SMOKE DETECTOR MUST BE POWERED BY INTERCONNECTED BUILDING WIRING AND HAVE BATTERY BACKUP. MAY BE BATTERY POWERED IN ALTERATIONS OR REPAIRS EXCEPT WHEN WIRING CAN BE INSTALLED WITHOUT REMOVAL OF INTERIOR FINISHES.</p> <p><b>HVAC</b> EXISTING FURNACE LOCATED IN BASEMENT. NEW MINI-SPLIT HEAT PUMP TO PROVIDE ZONAL CLIMATE CONTROL TO MAIN LIVING AREA.</p>		<p><b>ARCHITECTURAL</b></p> <p>COV COVER SHEET</p> <p>A001 GENERAL NOTES</p> <p>A002 EXISTING AND PROPOSED SITE PLANS</p> <p>A100 FLOOR PLANS</p> <p>A200 PROPOSED EXTERIOR ELEVATIONS</p> <p>A300 BUILDING SECTIONS</p> <p>A800 WINDOW SCHEDULE</p> <hr/> <p><b>ISSUE DATE</b> 2022 APRIL 08 PERMIT SUBMITTAL SET</p> <hr/> <p>THIS DOCUMENT CONTAINS INFORMATION PROPRIETARY TO DESROSIER ARCHITECTURE, PLLC AND IS FURNISHED IN CONFIDENCE FOR THE LIMITED PURPOSE OF EVALUATION, BIDDING, OR REVIEW. THIS DOCUMENT OR ITS CONTENTS MAY NOT BE USED FOR ANY OTHER PURPOSE AND MAY NOT BE REPRODUCED OR DISCLOSED TO OTHERS WITHOUT THE PRE-WRITTEN CONSENT OF DESROSIER ARCHITECTURE, PLLC. ALL RIGHTS RESERVED. COPYRIGHT 2022.</p> <hr/> <p>NTS</p> <hr/> <p>SEATTLE DCI APPROVAL STAMP</p>
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SEARING REMODEL  
3873 80TH AVE SE

COVER SHEET

COV





LEGAL DESCRIPTION  
 MERCERDALE # 2  
 PLAT BLOCK: 11  
 PLAT LOT: 11

DESROSIER ARCHITECTURE PLLC  
 1710 E COLUMBIA ST #1  
 SEATTLE, WA 98122  
 425 638 3306

PARCEL NUMBER  
 545900-0245

- LEGEND
- AREA OF PROPOSED REMODEL
  - BUILDING OUTLINE
  - ▨ WOOD DECK, PRICE THERMORY OR SIM.
  - ▩ ROAD, HARDSCAPE OR SIM.

SEARING REMODEL  
 3873 80TH AVE SE

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1/8" = 1'-0"

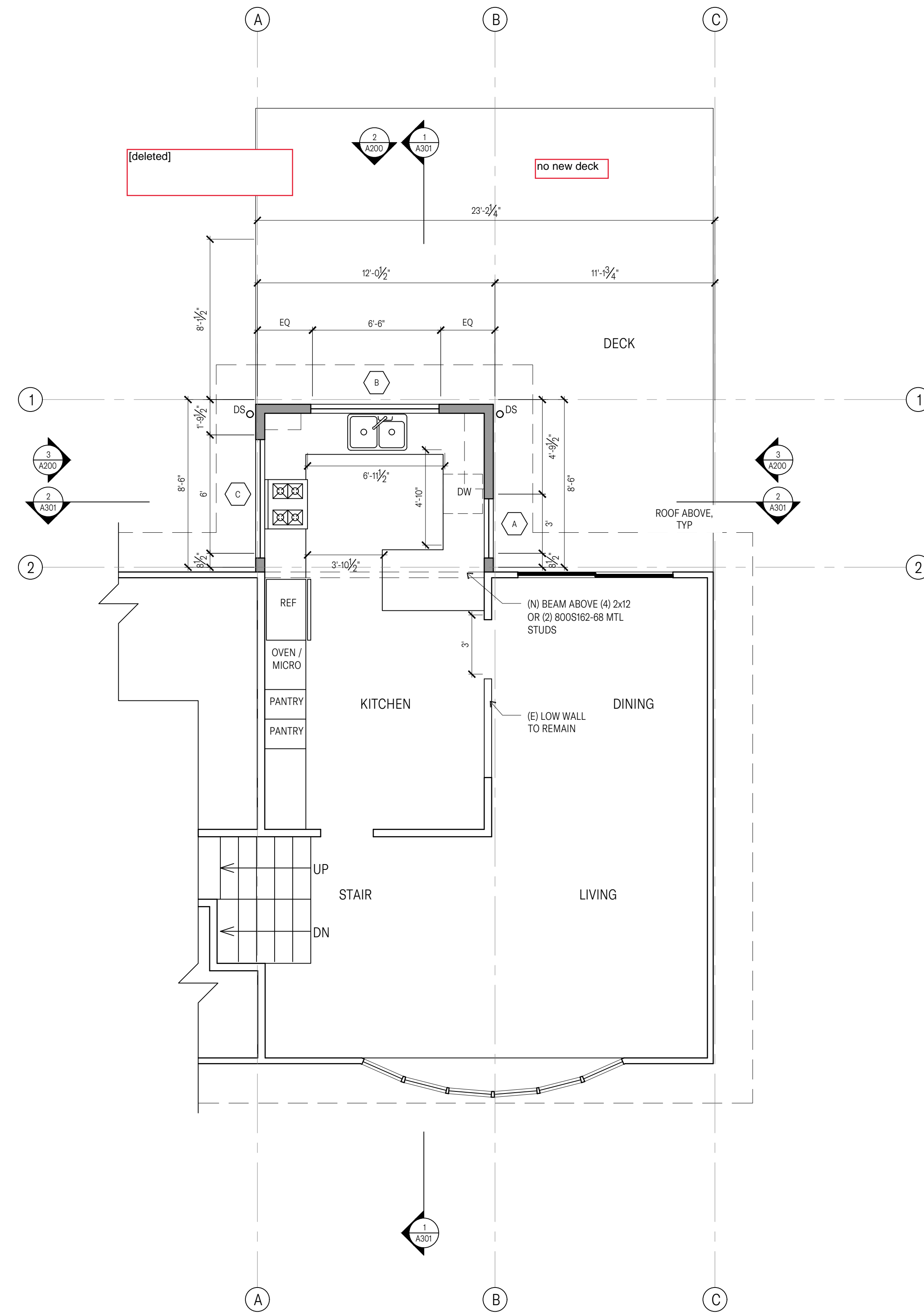
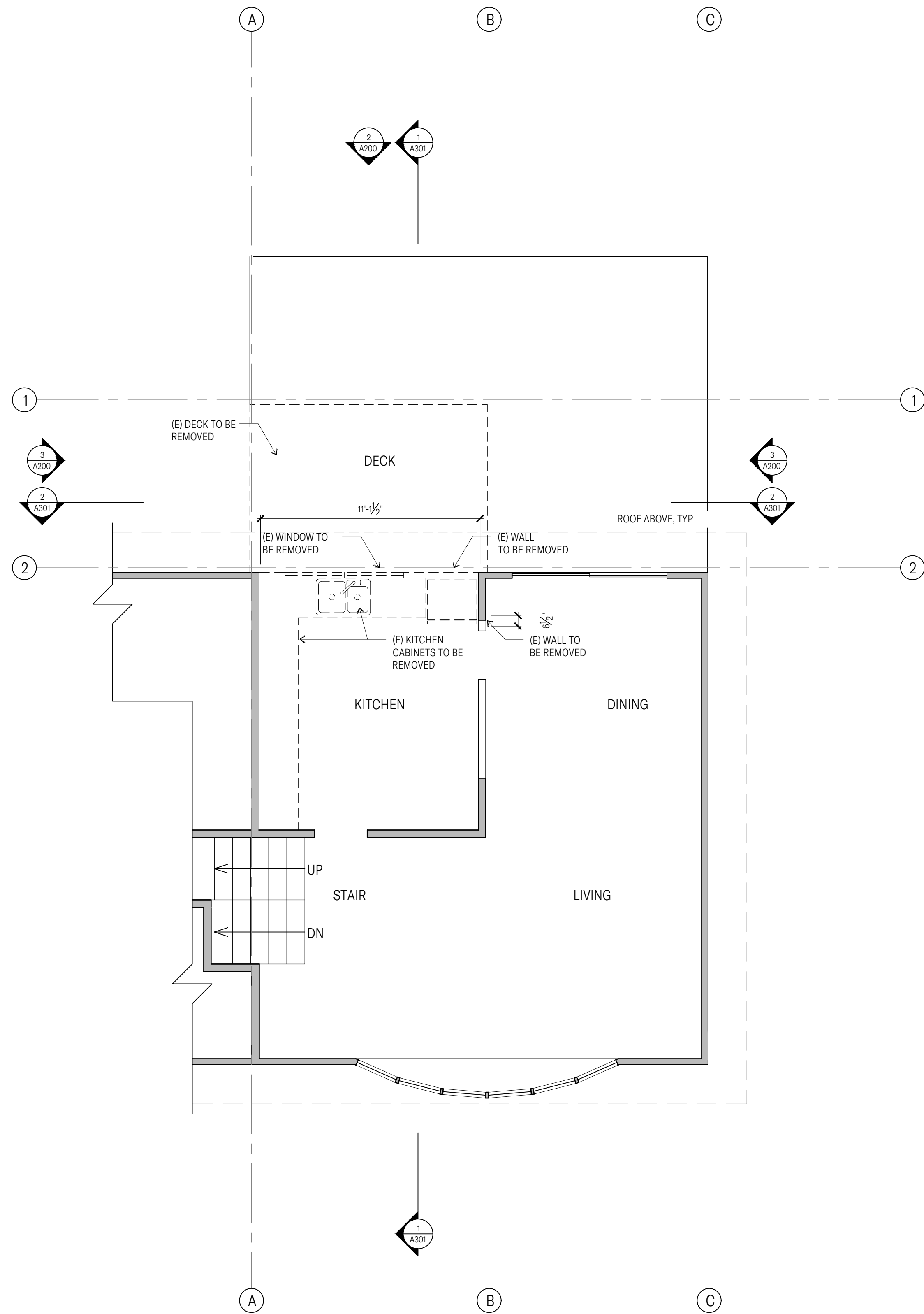
EXISTING AND PROPOSED SITE PLANS

2 EXISTING SITE PLAN  
 1/8" = 1'-0"

1 PROPOSED SITE PLAN  
 1/8" = 1'-0"

SEATTLE DCI APPROVAL STAMP

A002



GENERAL NOTES

- DIMENSIONING**
- DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS SHOWN.
  - VERIFY ALL EXISTING CONDITIONS AND INFORM ARCHITECT OF ANY DISCREPANCIES.
  - CONTACT ARCHITECT FOR ANY MISSING DIMENSIONS OR INFORMATION.
  - UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO FACE OF FINISH.
- FRAMING**
- ALL EXTERIOR WALLS TO BE FRAMED WITH 2X6 STUDS U.N.O.
  - ALL INTERIOR WALLS TO BE FRAMED WITH 2X4 WALLS U.N.O.
- INSULATION**
- INSULATION OF BUILDING ENVELOPE SHALL BE CONTINUOUS.
  - SOUND INSULATION SHALL BE INSTALLED AT SECOND FLOOR FLOOR JOISTS.

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LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW CONSTRUCTION
- AREA OF PROPOSED REMODEL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

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1 EXISTING FLOOR PLAN  
1/4" = 1'-0"

1 PROPOSED FLOOR PLAN  
1/4" = 1'-0"

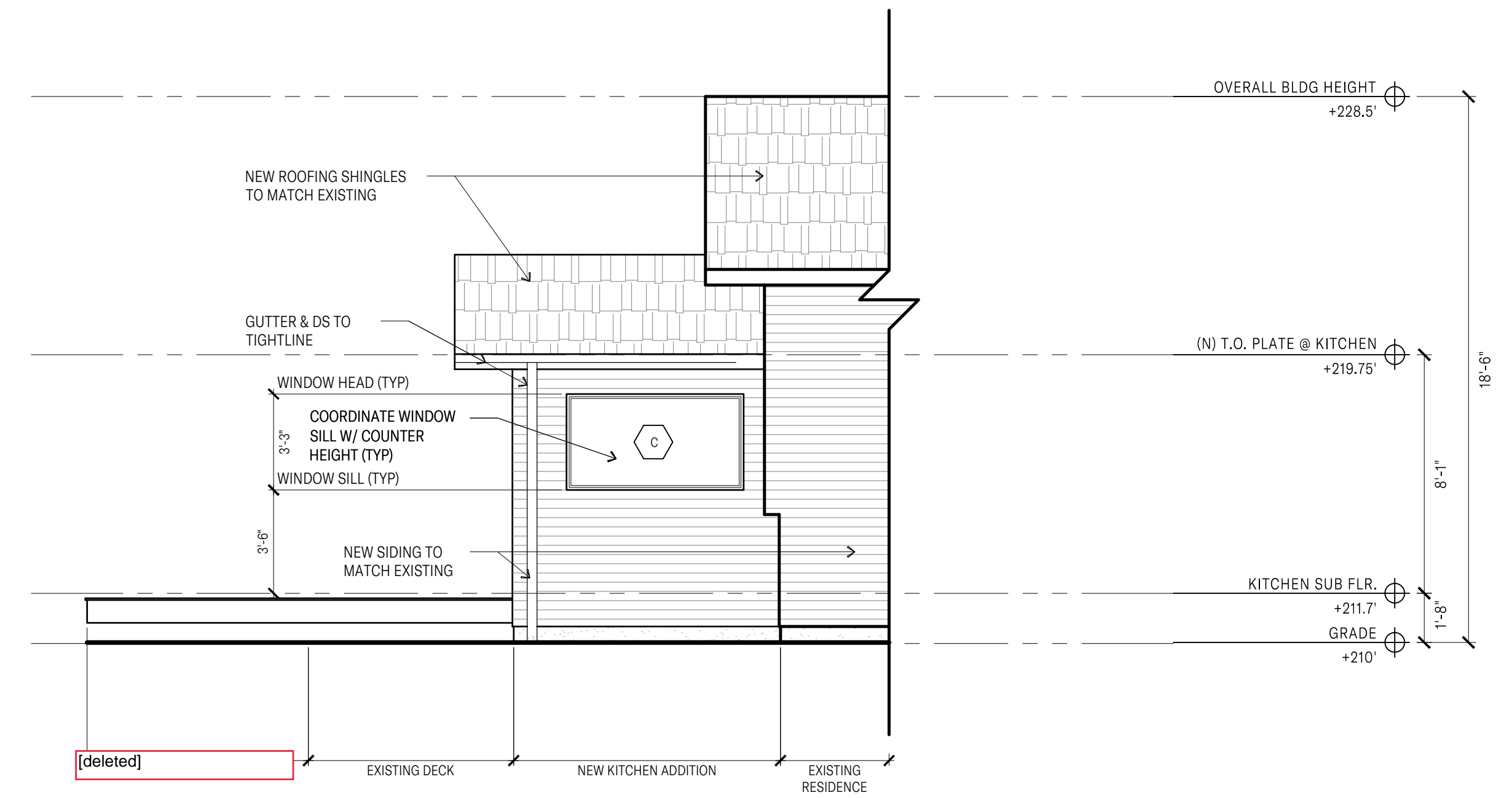
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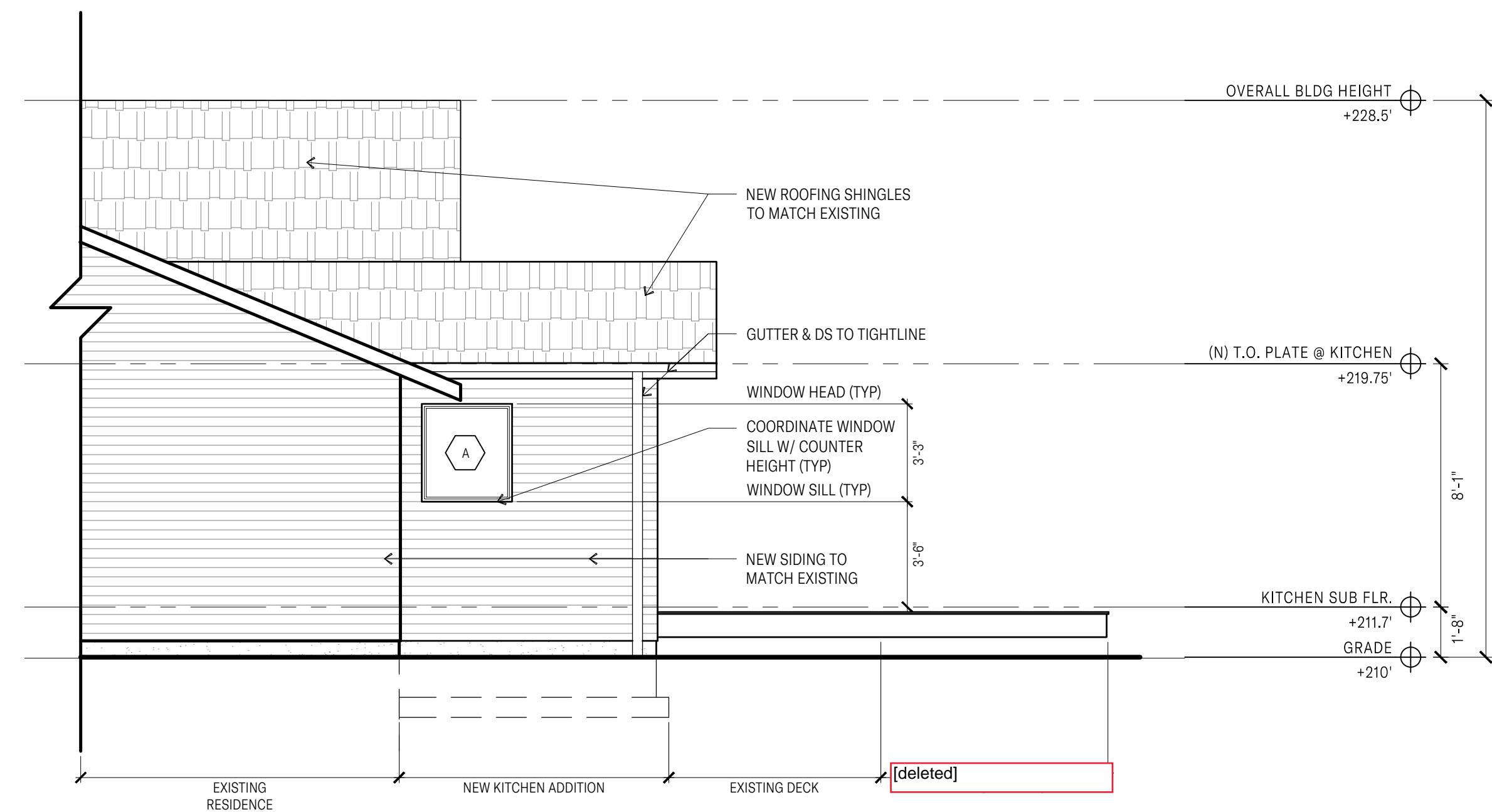
1/4" = 1'-0"

FLOOR PLANS

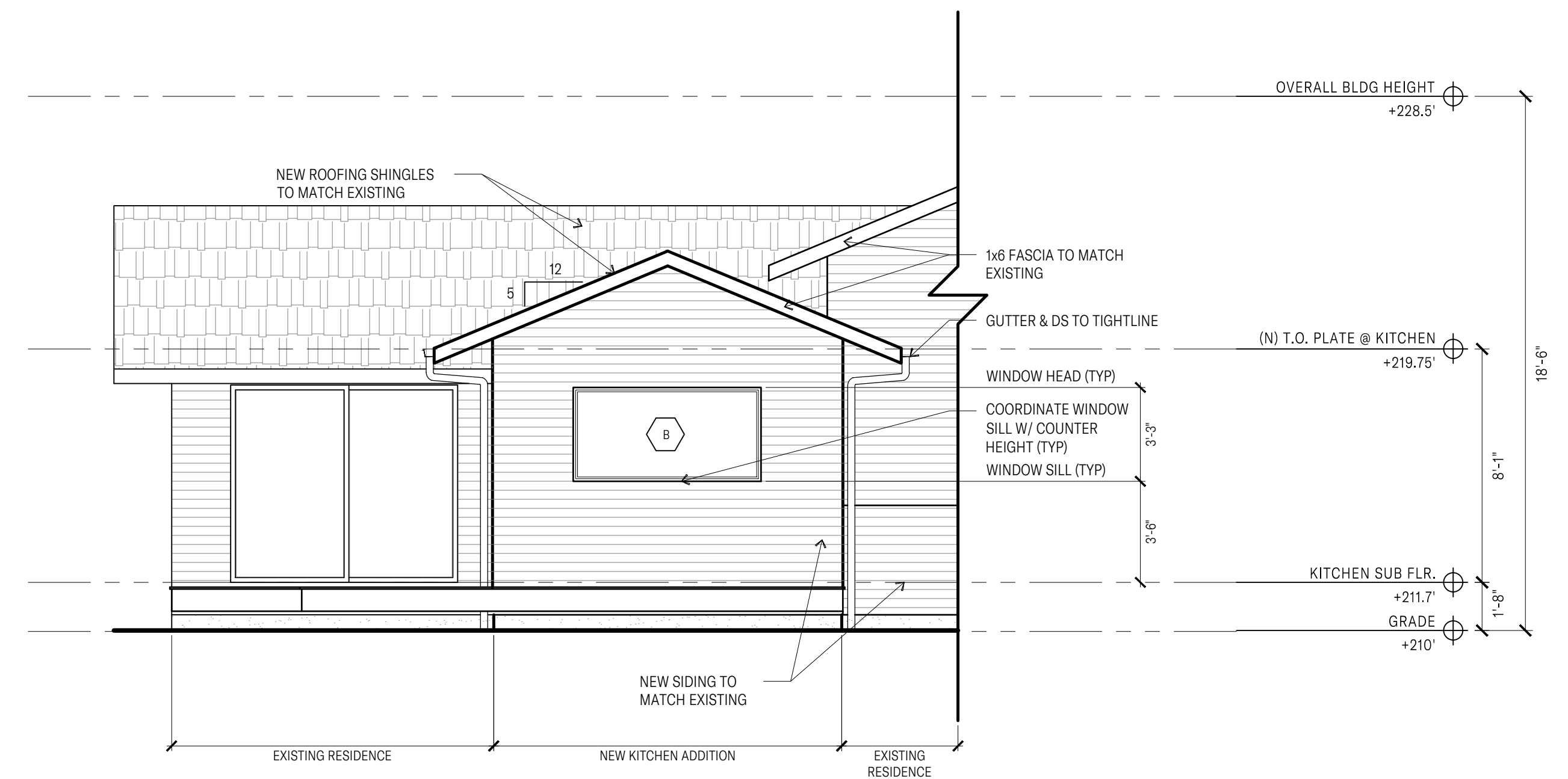
A100



1 EAST ELEVATION  
1/4" = 1'-0"



3 WEST ELEVATION  
1/4" = 1'-0"



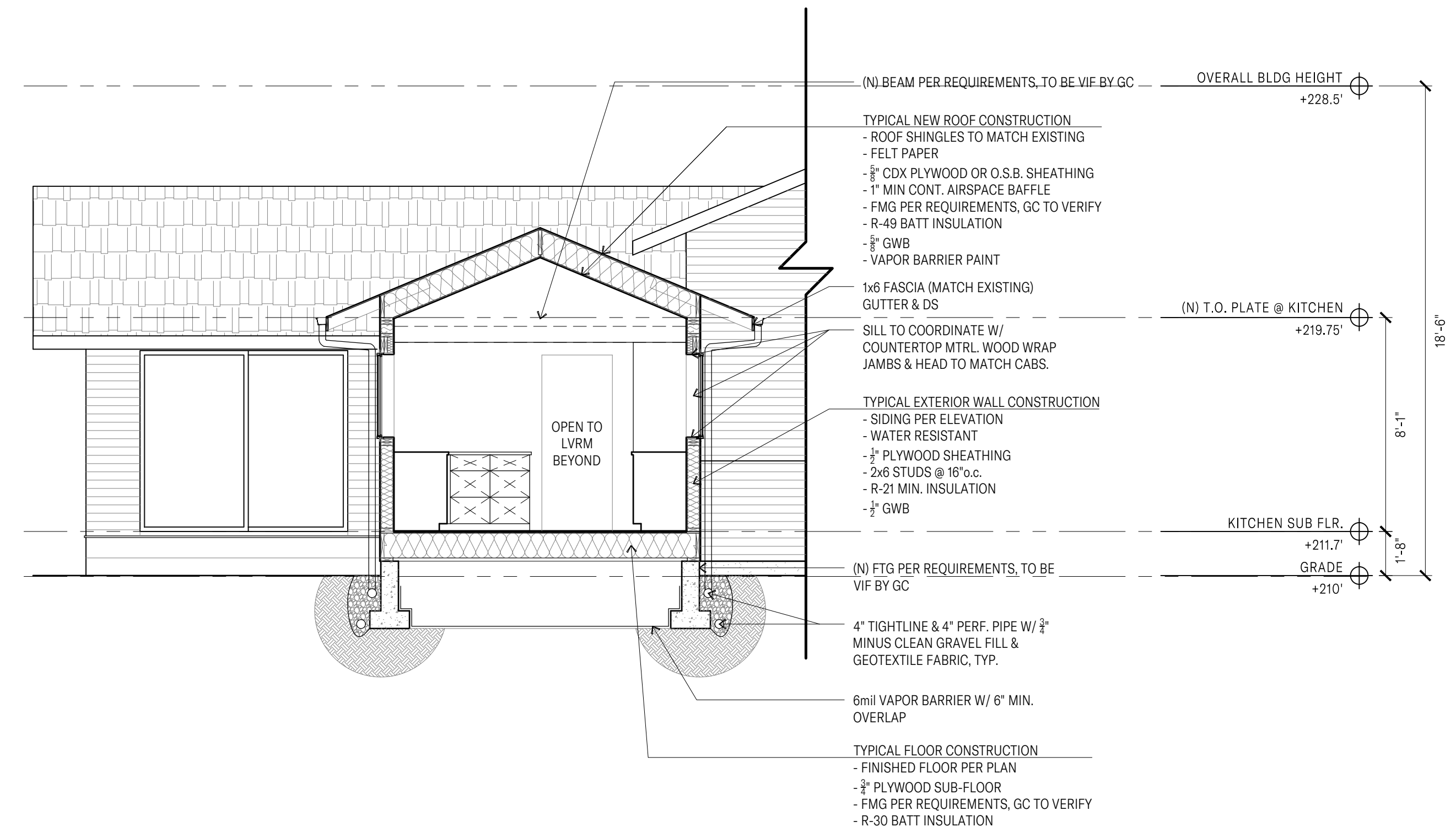
2 WEST ELEVATION  
1/4" = 1'-0"

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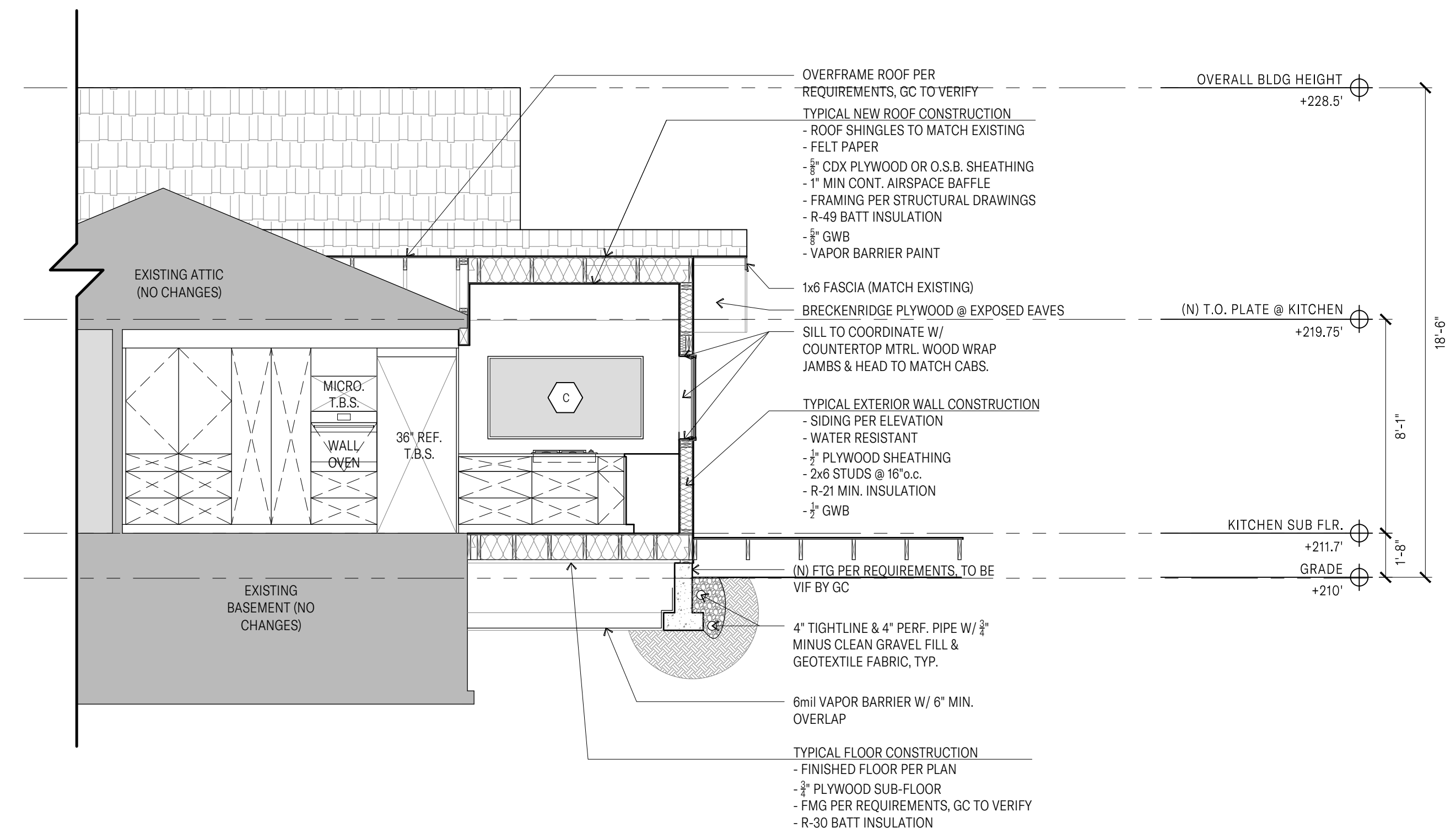
1/4" = 1'-0"

PROPOSED EXTERIOR  
ELEVATIONS

A200

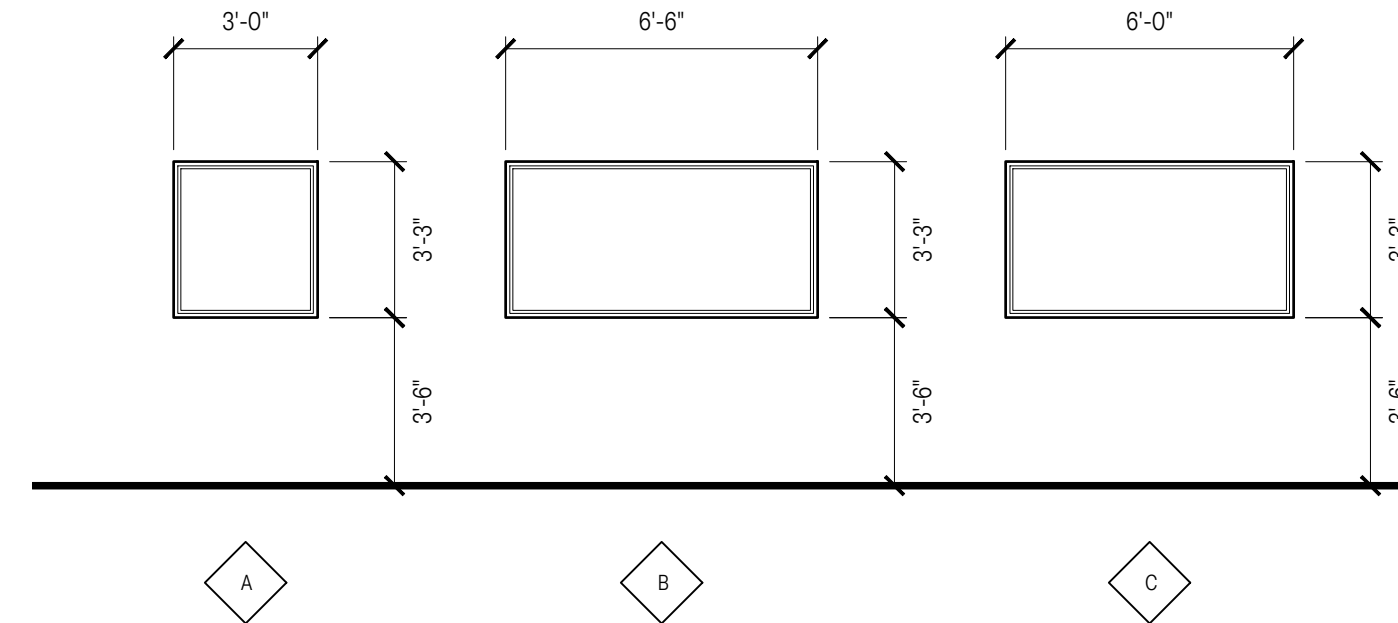


2 SECTION THROUGH KITCHEN AND STAIR  
1/4" = 1'-0"



1 SECTION THROUGH KITCHEN AND DECKS  
1/4" = 1'-0"

SEATTLE DCI APPROVAL STAMP



**WINDOW LEGEND**

1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	SILL HEIGHT	U-VALUE	WINDOW TYPE
A	3'-0"	3'-3"	3'-6"	0.24	PICTURE
B	6'-6"	3'-3"	3'-6"	0.24	PICTURE
C	6'-0"	3'-3"	3'-6"	0.24	PICTURE

**WINDOW AND GLAZING NOTES**

- ALL WINDOW ELEVATIONS DRAWN IN THESE SCHEDULES ARE VIEWED FROM THE EXTERIOR. SEE ELEVATIONS TO VERIFY OPERABILITY OF ALL WINDOWS.
- SAFETY GLAZING (SG) SHALL BE PROVIDED IN HAZARDOUS LOCATIONS, INCLUDING THE FOLLOWING LOCATIONS AS SPECIFIED IN R308.4.1 THROUGH R308.4.7 EACH PANE OF SAFETY GLAZING SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION PER 308.1."
  - GLAZING IN ALL DOORS, AND WITHIN 24" OF EITHER VERTICAL EDGE OF A DOOR WHERE THE SILL IS LESS THAN 60" ABOVE WALKING SURFACE.
  - GLAZING PANELS LARGER THAN 9 SF WITH SILLS LESS THAN 18" ABOVE THE FINISHED FLOOR AND A TOP EDGE GREATER THAN 36" ABOVE THE FINISHED FLOOR, WITH A WALKING SURFACE WITHIN 36" MEASURED HORIZONTALLY AND IN A STRAIGHT LINE.
  - GLAZING PANELS WITH SILLS LESS THAN 60" ABOVE THE STANDING SURFACE OF A BATH TUB OR SHOWER.
  - GLAZING IN ALL BATH AND SHOWER DOORS AND ENCLOSURES.
  - GLAZING IN ALL GUARDS AND RAILINGS.
  - GLAZING LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE.
  - GLAZING WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION.
- WINDOWS SHALL BE DESIGNED, MANUFACTURED, AND INSTALLED TO WITHSTAND WIND EFFECTS AS DESCRIBED IN R301.2.1.
- WINDOWS ARE SHOWN AT ACTUAL DIMENSION. CONTRACTOR SHALL PLAN FOR ROUGH OPENINGS ACCORDINGLY.
- REFER TO ENERGY CODE NOTES FOR MORE INFORMATION ON THE AVERAGE U-VALUE.
- WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF THE WINDOW SHALL NOT PERMIT OPENINGS THAT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR PER R312.2.
- ALL WINDOWS AND GLAZED DOORS SHALL BE NFRC CERTIFIED AND LABELED.
- ALL WINDOWS SHALL BE INSTALLED WITH A FLEXIBLE MEMBRANE FLASHING.
- DEAD BOLTS OR OTHER APPROVED LOCKING DEVICES SHALL BE PROVIDED ON ALL SLIDING DOORS AND OPENABLE WINDOWS WITH SILLS LESS THAN 10 FEET OR MORE ABOVE GRADE AND SHALL COMPLY WITH R328.3.
- PROVIDE MIN R-10 INSULATION AT HEADERS.

\*NOTE: SEE ELEVATIONS FOR INDIVIDUAL SAFETY GLAZING (SG) IDENTIFICATION.

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1/4" = 1'-0"

WINDOW SCHEDULE

A800

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